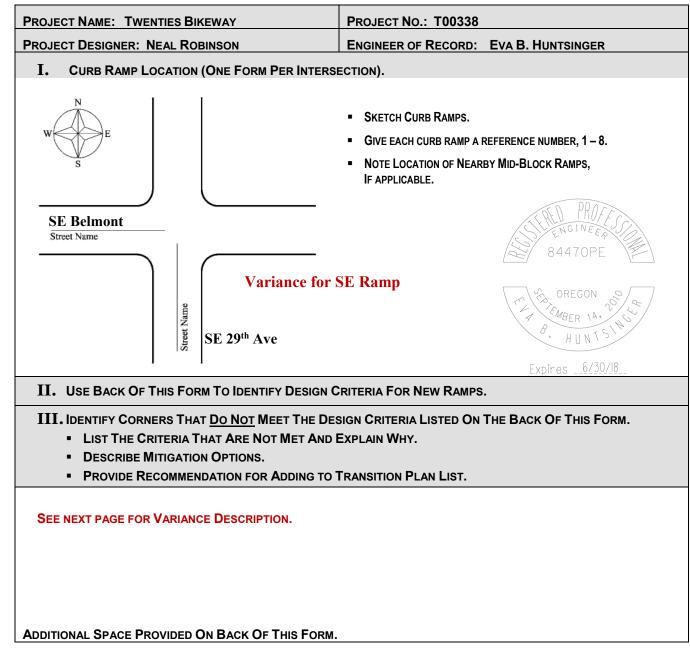




ADA RAMP REPORT



APPROVALS*

*IF ALL CORNERS HAVE DOUBLE RAMPS AND THEY MEET DESIGN CRITERIA LISTED ON BACK, APPROVAL BY ADA TECHNICAL ADVISOR IS NOT REQUIRED.

[HAND WRITTEN OR DIGITAL SIGNATURE]

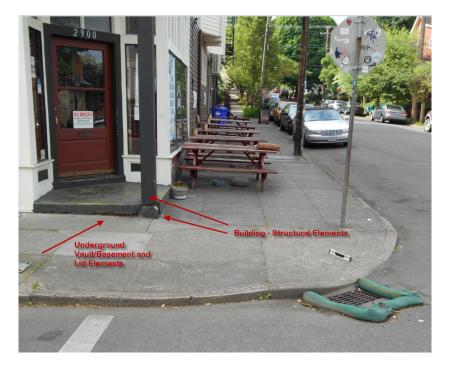
ENGINEER OF RECORD, Sign and Print Name [HAND WRITTEN OR DIGITAL SIGNATURE] DATE

SPACE FOR ADDITIONAL COMMENTS.

- The Belmont sidewalk is curb tight, approximately 8.5 wide.
- SE 29th sidewalk is curb right and approximately 11.5' wide.
- Existing ramp condition is a single short ramp (16.5%) near sag inlet with a landing at 3% to 4%.
- Corner property has recessed, stepped entrance, with step exposure ranging from 5.25" to 9".

To meet ADA grade and landing requirements, excavation into the basement lid and the basement/vault areas under the sidewalk and connected to the building would be necessary. The landing would be 12" below the existing grade at the entrance to building corner, requiring reconstruction of basement/vault and lid, and likely reconfiguring/replacing the structural corner post of the building. Reconstruction of the existing physical constraints of the basement/vault, lid and corner building post are impractical and outside the scope of the Twenties Bikeway Project.

Recommend that upon redevelopment of this building site, ADA compliant facilities (for building entrance and sidewalk corners) as these facilities are interconnected.



→ Where existing physical constraints make it impractical for altered elements, spaces, or facilities to fully comply with new construction requirements, compliance is required to the extent practicable within the scope of the project. Existing physical constrains include, but are not limited to, underlying terrain, right-of-way availability, undergrounds structures, adjacent developed facilities, drainage, or the presence of a notable natural or historical feature. R202.3.1 Existing Physical Constraints, PROWAG, Section by Section Analysis, United States Access Board. See https://www.access-board.gov/gideines-and-standards/streets-sidewalks/public-rights-of-way-guidelines/section-by-section-analysis.