



New Single Family Residential (NSFR) Permit Packet and Sample Fees

Learn more about the review process for New Single Family Residential (NSFR) construction, including one-family dwellings, accessory dwelling units, two-family dwellings (i.e. duplexes), townhouses on individual lots, townhouses on shared lots, floating homes and manufactured homes on individual lots. All projects submitted under the New Single Family Residential (NSFR) permit packet must be designed and constructed to meet the Oregon Residential Specialty Code.

Standard Process: NSFR Submittal Requirements For All Residential Projects

Complete and Submit this New Single Family Residential (NSFR) Packet:

1. Verify that all required forms and documents have been completed and signed where applicable.
2. Verify that all required plans and drawings have been included.
3. Verify that all required structural calculations have been stamped.

Batch Process: NSFR Submittal Requirements For Projects With Three Or More Units

Projects with three (3) or more units must include items 4-6.

4. Include everything required for the **Standard Process** (above, items 1-3).
5. Residential Batch Intake Worksheet, completed and signed.
6. Construction Dewatering Form, completed.

Apply and Pay for Permit

- Apply and pay for your permit with our online permitting system, Development Hub PDX (DevHub) with a completed permit application. To learn how visit www.portland.gov/bds/apply-pay-permits
- To apply and pay in person, please call the General Inquiries phone number at (503) 823-7300 to schedule a drop-off appointment. Appointments can be made Monday - Friday from 8 a.m. to 4 p.m. in the lobby of the 1900 SW Fourth Avenue building.

Intake and Review Process

1. You submit this completed NSFR Permit Packet.
2. We prescreen for completeness of the NSFR permit application forms, documents, and plans.
3. If the forms, documents, and plans are considered incomplete for intake, a list of outstanding items will be sent to the applicant. These items must be corrected and submitted for intake to be considered complete.
4. Once all forms, documents, and plans are considered complete for intake, the applicant will be billed an intake fee. Once fees are paid, project will be placed under review.
5. You can check the status of your permit on PortlandMaps.com. To learn how and for more information on the permit review process visit www.portland.gov/bds/permit-status.

Still Need Help? Call Us Or Schedule A Free 15-Minute Appointment

If you have questions about the permitting process or required submittals, please call Permitting Services at 503-823-7300. You may also request a free 15-minute appointment with Permitting Services at our website: www.portland.gov/bds/15-min

Sample Fees for building a new single family home

Each project is unique, some fees may vary, even for homes with identical square footage.

FEES	Square Footage	1,250	2,450	3,650
*Valuation includes a 500 sq. ft. attached garage in addition to square footage	\$ Valuation	188,865	345,561	502,257
Plan Check Fees				
Building Plan Review/Processing Fee		778.34	1,197.76	1,617.19
Land Use Plan Review Res		470.27	860.45	1,250.62
Residential Site Inspection Fee - New Construction		651.00	651.00	651.00
Fees due at intake		1,899.61	2,709.21	3,518.81
Development Services Fee - RS		321.66	506.92	692.18
Transportation Plan Review		411.00	411.00	411.00
Environmental Services Plan Review		671.00	671.00	671.00
Water Plan Review		120.00	120.00	120.00
Systems Development Charges				
Environmental Services		8,740.00	8,740.00	8,740.00
Additional line and branch charges may apply. Contact BES at 503-823-7761 for more information				
Parks	Within the Central City Parks SDC Area, or	9,624.00	12,097.00	12,097.00
	Outside the Central City Parks SDC Area ¹	12,171.00	15,300.00	15,300.00
Transportation	Single Family Residence	5,694.00	5,694.00	5,694.00
	(plus additional amount if located within North Macadam overlay area) ¹	3,643.00	3,643.00	3,643.00
	(plus additional amount if located within Innovation Quadrant overlay area) ¹	2,933.00	2,933.00	2,933.00
Water SDC, by meter size 5/8", 3/4" or 1"		3,699.00	5,548.00	9,247.00
Other Fees				
Water service installation estimated by number of bathrooms, meter size 5/8", 3/4" or 1". Typically 1.5 or fewer baths use 5/8" meter, 2 - 3 baths require a 3/4" meter and 3.5" baths require a 1" meter. Actual meter size will be based on total fixture unit count of the entire home. Where an adequately sized service branch is already installed to your lot a \$545 activation fee will be charged.		7,160.00	7,160.00	7,160.00
Miscellaneous Fees, street addressing and zoning inspection fees		207.00	207.00	207.00
Permits for Construction , includes state surcharge where applicable				
Building Permit		1,341.13	2,063.84	2,786.54
Plumbing Packages, up to 100 feet of exterior pipe for connections to water, sewer, storm or rain drain included				
	(1 bathroom)	(2 bathroom)	(3 bathroom)	(4 bathroom)
	674.24	1,011.36	1,181.60	1,463.84
Mechanical Permit, typical fixtures		286.72	338.39	357.43
Electrical Permit, wiring and temporary service		655.20	807.52	1,036.00
Forestry Permit		543.00	543.00	543.00
Sewer/Storm Connection Permits		243.00	243.00	243.00
Residential Stormwater Facility Inspection		615.00	615.00	615.00
Street Improvements - Type dependent on current street infrastructure				
Sidewalk/Driveway				
Type 1 - \$0.89 per sq. ft., minimum \$60				
129 sq.ft. driveway in right-of-way		132.87		
225 sq.ft. driveway in right-of-way			231.75	231.75
Type 2 - Public Works Permit Review ¹		4,762.00	4,762.00	4,762.00
Type 3 - Local Transportation Infrastructure Charge (LTIC) ¹				
\$600 per lineal foot of frontage				
Metro Construction Excise Tax		226.64	414.67	602.71
School Construction Excise Tax		1,762.50	3,454.50	5,146.50
City of Portland Construction Excise Tax		1,888.65	3,455.61	5,022.57
Total Estimated Fees		47,253.34	57,213.00	66,606.32
Due at Intake		1,899.61	2,709.21	3,518.81
Due at Issuance		45,353.73	54,503.79	63,087.51

Sample fees are based on rates and valuation effective July 1, 2021, and assume that construction will occur on an existing legal, buildable lot. Information is subject to change.

¹ Not included in the total



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



Application for New Single Family Residential Construction

What type of home(s) are you building?

Single family residence Duplex Townhouses on individual lots Townhouses on shared lots

Floating home Manufactured home on its own lot

Detached accessory dwelling unit (ADU) Other: _____

If your project includes 3 or more structures built to the Oregon Residential Speciality Code and are either located on a single tax lot or attached to each other, you will apply through the Batch Submittal and Review Process. Please contact Permitting Services at 503-823-7357 for more information.

Applicant Information

Company Name _____

Contact Person _____

Mailing Address _____

City _____ State _____ Zip Code _____

Office Phone _____ Cell Phone _____ FAX _____

Email _____

Lot Owner Name _____

Mailing Address _____

City _____ State _____ Zip Code _____

Contractor Name _____ CCB# _____

Project Information

Tax account number: R _____		If you do not know the tax account number, call Multnomah County at 503-988-3326		
Cross streets: _____ & _____		Tax lot number: _____		
Plat name/number _____		Block/lot: _____		Qtr section #: _____
Living area: _____ sq.ft.	ADU: _____ sq.ft.	Attached	Detached	N/A
Basement: _____ sq.ft.	Garage/carport: _____ sq.ft.	Attached	Detached	N/A
Is there an existing house on the lot that will be demolished?		yes	no	
Land Use Review case numbers: _____				
Plan designer/architect name: _____			Plan # _____	
Has BDS permitted this design previously?		yes	no	Permit # _____
Do you plan on building the same house plan again?		yes	no	not sure
Is this a Master House Plan (MHP)?		yes	no	MHP # _____

Do you intend to divide the site through the Middle Housing Land Division process?	no	yes (see additional submittal requirements)
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Note: To qualify for a middle housing land division under Zoning Code Chapter 33.671, structures must be built to the Oregon Residential Specialty Code (ORSC) and meet building code provisions based on proposed lot lines.

- Attached units (duplex, triplex, fourplex in the Zoning Code) must be designed to Townhouse standards of the ORSC.
- Detached units (detached duplex and cottage cluster in the Zoning Code) must meet fire separation requirements based on proposed lot lines between the detached units.



New Single Family Residential Minimum Submittal Checklist and Sample Site Plan

Folder number:	Date:
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The information listed below is the minimum information required for a complete submittal package. If items are missing or incomplete, we will not accept your project for review. The completeness and complexity of the plans will determine how quickly they are reviewed.

Documents required for all submittals		staff use
1 Application Form Including applicant contact information, lot owner, contractor, and property identification details (Tax ID Number, R Number, and Legal Description).	<input type="checkbox"/> Provided	
2 This Submittal Checklist Completed with all attachments as needed clearly indicated.	<input type="checkbox"/> Provided	
3 Residential Water Service Application Completed form detailing plumbing fixtures to be installed and authorization to create Water Bureau account.	<input type="checkbox"/> Provided	
4 Erosion Control Plan Provide an erosion control plan or, if eligible, complete and sign the Simple Site Erosion Control Requirement form.	<input type="checkbox"/> Provided	
5 Energy Efficiency Additional Measures Form Check the boxes next to the measures you have selected. Note that the building plans must also indicate the additional measures you have chosen.	<input type="checkbox"/> Provided	
6 Radon Control Method(s) Check the box or boxes next to the radon mitigation method you have selected.	<input type="checkbox"/> Provided	
7 Stormwater Management Simplified Approach (SIM) Form Completed form with stormwater facility, discharge point, and infiltration tests indicated. Please refer to Appendix D3 of the BES Stormwater Management Manual at www.portlandoregon.gov/BES/64040	<input type="checkbox"/> Provided	
8 Systems Development Charge Form One- and Two-Family Residential	<input type="checkbox"/> Provided	
Documents that may be required for your submittal <i>(Text in italics describe the circumstances for which these items are typically required)</i>		
9 If completed and signed mechanical, electrical, and/or plumbing permit applications are provided with this building permit application, these can be issued at the same time. Otherwise, these permits must be obtained separately.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
10 Fire Sprinklers <i>if the proposed structure is more than 3 stories OR if required as a condition of applicable Land Use Review.</i> Fire sprinklers must be reviewed by the BDS Plumbing Division. Fire sprinkler submittals must include hydraulic calculations, the manufacturer's cut sheets for the sprinkler heads, and a floor plan showing the location of all sprinkler equipment. If fire sprinklers are not submitted when this application is submitted, they will be set up as a deferred submittal. There is an additional fee for deferred submittals. Please see the Building and Other Permits Fee Schedule for the deferred submittal fee: www.portland.gov/bds/documents/city-portland-building-and-other-permits-fee-schedule-effective-july-1-2022	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
11 Townhouse Maintenance Agreement <i>for any applications.</i> Include a completed and signed but unrecorded Building Maintenance Agreement – a sample template can be found on the BDS website at www.portland.gov/bds/documents/townhouse-maintenance-agreement	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
12 Geotechnical/soils report <i>for sites with slopes in excess of 20% or where non-prescriptive foundation designs are proposed.</i> Provide a geotechnical or soils report prepared by a registered design professional licensed in Oregon. Special studies may be required for properties in or near Mapped Landslide Inventory Areas.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	

13 Manufactured roof truss design details <i>for buildings using manufactured roof trusses.</i> Provide roof truss drawings and layout stamped by an engineer licensed in Oregon. If roof trusses are not submitted when this application is submitted, they will be set up as a deferred submittal. There is an additional fee for deferred submittals. Please see the Building and Other Permits Fee Schedule for the deferred submittal fee: www.portland.gov/bds/documents/city-portland-building-and-other-permits-fee-schedule-effective-july-1-2022	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
14 Manufactured floor truss design details <i>for buildings using manufactured floor trusses.</i> Provide floor truss drawings and layout stamped by an engineer licensed in Oregon. If manufactured floor system designs/calculations are not submitted when this application is submitted, they will be set up as a deferred submittal. There is an additional fee for deferred submittals. Please see the Building and Other Permits Fee Schedule for the deferred submittal fee: www.portland.gov/bds/documents/city-portland-building-and-other-permits-fee-schedule-effective-july-1-2022	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
15 Engineer's calculations <i>for buildings using engineered lateral systems.</i> Engineering calculations shall be prepared and stamped by an architect or engineer licensed in Oregon as applicable to the project under review. Lateral design details and connections must be incorporated into the plans or on a separate full size sheet attached to the plans with cross-references between plan location and details.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
16 Beam calculations <i>for buildings with beams and/or multiple joists over ten feet in length and/or any beam/joist carrying a non-uniform load or for cantilever conditions.</i> Calculations stamped by an engineer are required for beams supporting loads from more than one level or beams supporting overturning loads from discontinuous shear walls.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
17 Limited Structural Engineering Plan Review Form <i>if this option is selected by the owner and engineer.</i> The exemption form must have original signatures from both the owner and the engineer. Faxes and photocopies are not acceptable. If the structural exemption form is signed, the structural engineering plan review will be of a limited nature and conducted as part of the life safety review. The building owner is responsible for any field corrections that may be necessary as a result of the inspection process; however, this does not exempt a project from other required reviews (Life Safety, Planning, etc).	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
Plans (permit drawings) required for all submittals		
18 Building Plans Plans must be legible, drawn to scale, and show conformance to the applicable local and state building codes. Each set should include the following:	<input type="checkbox"/> Provided	
18a Foundation Plan Show dimensions, anchor bolts, any hold-down types and locations, connection details, vent size and location, location and size of crawl space access.	<input type="checkbox"/> Provided	
18b Floor Plans Show all dimensions, room identification, window type and size, location of smoke detectors, water heater, furnace, ventilation fans, plumbing fixtures, balconies and decks, location and construction details for stairs and handrails.	<input type="checkbox"/> Provided	
18c Cross Sections and Details Show sizes and spacing for all framing members, such as floor beams, headers, joists, sub-floor, wall construction, and roof construction. More than one cross section may be required to clearly portray construction. Show details of all wall and roof sheathing, roofing, roof slope, ceiling height, siding material, footings and foundation, stairs, fireplace construction, and thermal insulation.	<input type="checkbox"/> Provided	
18d Building Elevation Views Provide exterior elevations for all sides showing materials, doors, windows, and both existing and proposed finished grades. Building elevations must match the finished grades shown on the site plan. For new detached ADUs proposing to visually match the existing house, front and side elevations of the existing house are required. Building height must be dimensioned from an identifiable base point on the site (see: Zoning Code Measurements Chapter www.portland.gov/code/33/900s/930)	<input type="checkbox"/> Provided	
18e Energy Code Compliance Identify the prescriptive energy path or provide energy calculations.	<input type="checkbox"/> Provided	

18f Bracing/Lateral Load System Details and locations of lateral load resisting elements must be shown on the plans. The lateral system may be prescriptive per requirements of the Oregon Residential Specialty Code OR may be engineered to the requirements of the Oregon Structural Specialty Code. If engineered, all building drawings and calculations must be stamped by an engineer or architect licensed in Oregon. Drawings must be complete with all required engineered details included on full-size sheets attached to every set of plans.	<input type="checkbox"/> Provided	
18g Floor/Roof Framing Plans Show member sizing, spacing, and bearing locations. Show location of attic ventilation, size and location of attic access.	<input type="checkbox"/> Provided	
18h Basement and Retaining Wall Cross-Sections and Details Show reinforcement sizes and locations, footing sizes, etc. Retaining walls greater than 4 ft or basement walls greater than 10 ft in height must be engineered with calculations stamped by an engineer licensed in Oregon. Retaining walls must be shown on the site plan.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
18i Deck Plans Deck framing plans, guardrail details, and deck connection details must be included in building plans.	<input type="checkbox"/> N/A <input type="checkbox"/> Provided	
18j Radon Control Method Indicate the method(s) of radon gas mitigation to be installed in the structure.	<input type="checkbox"/> Provided	
19 Site/Plot plans Site plans must be drawn to scale. Minimum scale requirement is 1"=10'. Minimum paper size is 11"x17", with sufficient white space provided for reviewers' notes and stamps. Please note: At the time of the setback inspection you are required to provide exposed property corner pins readily viewable on at least one side of the property from the front to the back of the property with a string line set for reference, or provide a survey that identifies the property lines, for the purpose of measuring the required building setbacks.	<input type="checkbox"/> Provided	
Your site plan must include all of the following elements:		
19a North arrow	<input type="checkbox"/> Provided	
19b Property and building corner elevations [see "J" on sample site plan]	<input type="checkbox"/> Provided	
19c If there is more than a 4 foot elevation differential, the site plan must show existing and proposed elevation contours at 2' intervals [see "L" and "M" on sample site plan]	<input type="checkbox"/> Provided	
19d Footprint of new & existing structures, including decks and retaining walls [see "K" on sample site plan]	<input type="checkbox"/> Provided	
19e Lot & building dimensions, and area in square feet.	<input type="checkbox"/> Provided	
19f Setbacks dimensions for the following - building(s) to property line, building to building, front door to property line, garage door to property line [see "H" and "I" on sample site plan]	<input type="checkbox"/> Provided	
19g Building coverage % (building area minus eaves/lot area = % coverage)	<input type="checkbox"/> Provided	
19h Impervious area (include structures, paving, and roof overhangs)	<input type="checkbox"/> Provided	
19i Stormwater facility - location, type, size, and setbacks from buildings and property lines [see "O" on sample site plan]	<input type="checkbox"/> Provided	
19j Stormwater discharge point - location and type of discharge point (e.g. drywell, trench, storm or combo sewer, drainageway, ditch etc) - a separate discharge point is not needed if the primary stormwater facility is a drywell or soakage trench	<input type="checkbox"/> Provided	
19k Utilities - location, size, and type of pipe for water, sewer, storm, and gas [see "G" on sample site plan]	<input type="checkbox"/> Provided	
19l Septic system and/or well locations, types, and sizes (if applicable)	<input type="checkbox"/> Provided	
19m Driveway location, size, and material	<input type="checkbox"/> Provided	
19n Street & right-of-way configuration, including curb, planting strip, sidewalk, and buffer [see "F" on sample site plan]	<input type="checkbox"/> Provided	
19o Location and dimensions of all easements on property [see "N" on sample site plan]	<input type="checkbox"/> Provided	

19p	Tree Plan - show the location, size, and species of all Private Trees on-site at least 12 inches in diameter and all right-of-way Street Trees 3 inches in diameter and greater [see "A" and "D" on sample site plan]. Show proposed tree activity including: <ul style="list-style-type: none"> • protection for existing trees to be preserved lot [see "B" on sample site plan], • trees proposed for removal • location, species, planting size and number of trees proposed to be planted [see "C" and "E" on sample site plan]. 	<input type="checkbox"/> Provided <input type="checkbox"/> No Existing Applicable Private Trees <input type="checkbox"/> No Existing Applicable Street Trees	
19q	Landscape Plan - Any additional landscaping that is required City code or prior land use review.	<input type="checkbox"/> Provided	
19r	Provide dimensions from exterior walls, decks, stairs, and projections to all property lines, imaginary and real, to show compliance with fire separation distance. When more than one building is located on a lot, provide imaginary property lines between the buildings.	<input type="checkbox"/> Provided	
Plans required for projects taking advantage of the Middle Housing Land Division allowances in Zoning Code Chapter 33.671			
19s	Permit site plan must show the proposed lot lines and any proposed easements and tracts. Provide dimensions from the proposed lot lines to the exterior walls and all projections (e.g. eave overhangs, bay windows, etc).	<input type="checkbox"/> Provided	
19t	Detailed utility plan for sanitary sewer, stormwater management, water service and franchise utilities (power, cable, gas, etc), including connections in the right-of-way and on-site plumbing outside of buildings.	<input type="checkbox"/> Provided	

Applicant name (print) _____

Signature _____ **Date** _____

This site plan information is required when development is proposed on a lot that is flat and is not located in areas such as floodplains, environmental or river-related overlay zones. Please be aware that since every project is unique there may be some situations where you will be asked to provide additional information.

- A

Lot dimensions and finished grade elevations at property corners and building corners.
- B

Distance from building to property lines.
- C

Label location of front door and walkway to right-of-way.
- D

Distance from driveway to property line.
- E

Distance from garage entry to street property line.
- F

Stormwater facility type and size and distance to property line and building.
- G

Proposed location of new on-site tree with species and size.
- H

Existing on-site trees 12 inches or larger to be retained, including species and size. When there are no trees 12 inches or larger located on the site, add a note to the site plan: "NO TREES 12 INCHES OR LARGER ON SITE."
- I

Tree protection fencing and root protection zone – typically one foot radius from trunk per inch diameter (distance across trunk measured 4½ feet above the ground). Specify fence materials and location.
- J

Existing on-site tree to be removed, including species and size. Indicate with "X" through tree symbol. Fees apply for trees over 20 inches in diameter.
- K

Dimension of dedication of private property for public right-of-way improvements (if required).
- L

Right-of-way configuration with dimensions of curb, furnishing zone, sidewalk, and frontage zone.
- M

Driveway width.
- N

Street name.
- O

Location of utility poles, streetlights, fire hydrants, signs, meters, and other objects located in right-of-way.
- P

Existing and proposed locations of utility connections from right-of-way to building. Indicate size, material, location, distance to adjacent services, and (N) new/(E) existing.
- Q

Location and size of utility mains in right-of-way, including location of connections to property on both sides of the street. Specify combination, sanitary and/or storm sewer mains and method of connection (e.g. connect to existing public lateral or contractor tap to main line).
- R

Proposed new street tree, including species and size.
- S

Existing street tree to be retained, including species and size. Include location tree protection fencing inside curb, sidewalk, and proposed utility connections.
- T

Existing street tree to be removed, including species and size. Indicate with "X" through tree symbol.
- U

White space for City stamps

LOT AREA	5,000 SQ FT
IMPERVIOUS AREA	
DRIVEWAY.....	1,800 SQ FT
PATIO	100 SQ FT
WALK	190 SQ FT
ROOF AREA	1,134 SQ FT
TOTAL	1,804 SQ FT
UTILITY LOCATE NUMBER	
Call 811 or digsafelyoregon.com	
#123456	

LEGAL DESCRIPTION
PARCEL 1,
PARTITION PLAT 1992-X,
R-12345X

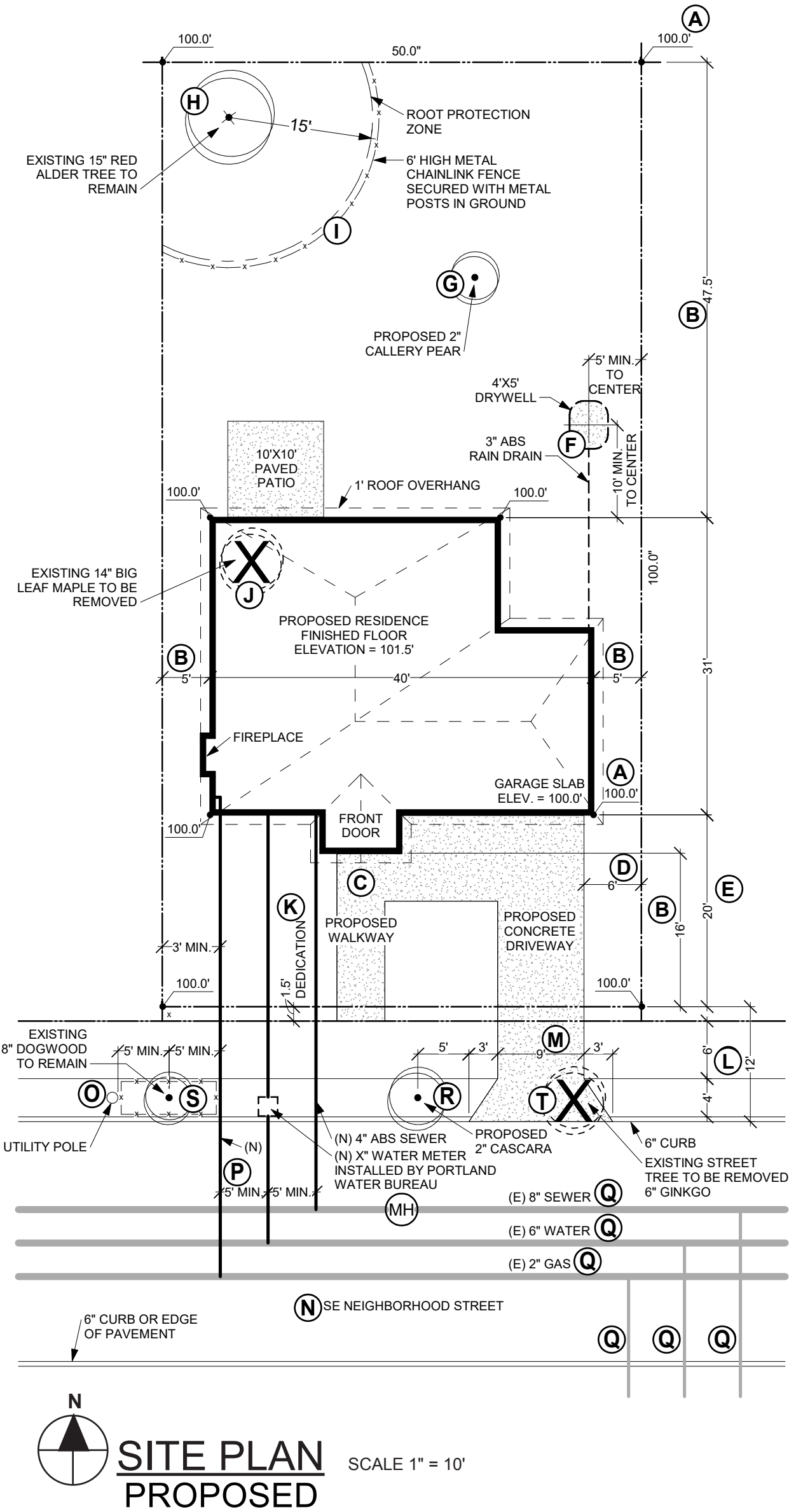
PROJECT ADDRESS
3030 SE NEIGHBORHOOD STREE
PORTLAND, OR 97207

Sample Site Plan

A well prepared site plan is very important to your project submittal. All major review groups need to approve your site plan.
Site plans must be clearly legible and reproducible. A complete and accurate site plan will help to speed your permit application reviews.

Your site plan must be drawn on 11"x17" or larger paper, and:

- Drawn to a scale of 1" = 10' or larger, such as 1/8"= 1 foot or 1/4" = 1 foot
- Include a north arrow



U



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



SYSTEMS DEVELOPMENT CHARGE FORM

One and Two Family Residential

Effective July 1, 2019

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____ Address _____

Qtr Sec Map(s) _____

Building Permit # _____ Tax Account # _____

Systems Development Charges (SDCs) are collected by the bureaus of Environmental Services, Parks and Recreation, Water Works and the Portland Bureau of Transportation to help offset the impact your project will add to the City's infrastructure of storm and sanitary sewer systems, parks and recreation facilities, water and street systems. The Bureau of Development Services does not charge SDCs.

To be completed for all new dwelling units, all accessory dwelling units, and all additions to existing dwelling units

Applicant Name _____

Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Project Information

What county is your project in? ☐ Multnomah, inside Portland ☐ Clackamas
☐ Multnomah, outside Portland ☐ Washington

Number/size of existing dwelling units ☐ 0 ☐ 1 size: _____ ☐ 2 sizes: _____ / _____

Number/size of new dwelling units ☐ 1 size: _____ ☐ 2 sizes: _____ / _____

If an addition to an existing dwelling unit, indicate the amount of new square feet being added: _____

Number of existing bathrooms ☐ 1 ☐ 1.5 ☐ 2 ☐ 2.5 ☐ 3 ☐ 3.5 ☐ 4 or more

Number of new bathrooms ☐ 0 ☐ 1 ☐ 2 ☐ 2.5 ☐ 3 ☐ 3.5 ☐ 4 or more

Is this a floating home? ☐ yes ☐ no

If yes, will it be moored within Portland City limits after construction?
(If moored outside Portland City limits, attach copy of Moorage agreement) ☐ yes ☐ no

Was a building on this site demolished in order for new home to be constructed? ☐ yes ☐ no

If yes, demolition permit number and square feet of each occupancy category being demolished. If residential, indicate size of each dwelling unit demolished: _____

If the demolition credit could apply to multiple permits and you have a preference which it applies to, please indicate that here: _____

SDC Rates

Environmental Services (some properties may also owe for line and branch that serve the property)	\$ 8,076	single family residence (sanitary and storm)
	\$ 12,226	duplex (sanitary and storm)
	\$ 0	accessory dwelling unit (sanitary and storm) (exempt until 7/31/18)
Transportation	\$ 5,393	single family residence (1,200 SF or larger) *
	\$ 2,697	single family residence (1,199 SF or smaller) **
* SFRs 1,200 SF or larger: add'l \$3,450 in North Macadam Overlay, add'l \$2,778 in Innovation Quadrant Overlay		
** SFRs 1,199 SF or smaller: add'l \$1,725 in North Macadam Overlay, add'l \$1,389 in Innovation Quadrant Overlay		
Water	\$ 3,062	5/8" meter (typically 1 to 1.5 baths)
	\$ 4,593	3/4" meter (typically 2 to 3 baths)
	\$ 7,655	1" meter (typically 3.5 or more baths)

THERE MAY BE ADDITIONAL PERMIT AND/OR REVIEW FEES FOR YOUR PROJECT

1

Parks THERE MAY BE ADDITIONAL PERMIT AND/OR REVIEW FEES FOR YOUR PROJECT	To see map and more information: www.portlandoregon.gov/parks/sdc		
	Dwelling Unit Size	Non-Central City Fee Per Unit	Central City Fee Per Unit
	Less than 700 square feet	\$6,472	\$5,118
	700 - 1199 square feet	\$9,682	\$7,656
	1,200 - 1,699 square feet	\$11,641	\$9,204
	1,700 - 2,199 square feet	\$13,217	\$10,451
	2,200 or more square feet	\$14,633	\$11,570

Starting 8/1/18, certain accessory dwelling units are exempt per 17.14.070.F

SDC Exemptions

- ☐ SDC Exemption Program - Check this item ONLY if you are receiving SDC exemptions for affordable housing from the Portland Housing Bureau (PHB).

The burden of proof for exemptions is on the applicant. You must apply and be approved for exemptions through PHB and submit documentation of the approval for the proposed development. For more information on the affordable housing SDC Exemption Program, go to www.portlandoregon.gov/phb/sdc or contact PHB at 503-823-3270 or indirect@portlandoregon.gov.

If you have questions about how the exemptions apply, call:

Transportation (PBOT) 503-823-7002
Parks 503-823-5105
BES (Storm and sanitary sewers) 503-823-7761
Water 503-823-7368

Signature and Date (to be completed by all development review customers)

I certify that the information presented throughout this document is current and accurate to the best of my knowledge:

Signature _____ Date _____

Print name _____

Company name and your position _____

Timing and Method of Payment

The City will give you a Notification of SDC Fees if you are required to pay any charges for your development. At this point you will decide when and how to pay for the SDCs.

For all SDCs...

- Pay by cash, check, money order or credit card at the time the City issues a building permit.
- Water SDCs are due when water services are purchased. Pay by check, money order or credit card.
- Request a City loan by completing and signing an installment contract to pay the SDCs in monthly installments over a number of years.*
- Defer payment for 6, 9, or 12 months, depending on the project valuation.
- Transfer SDC credits (contact respective bureaus for more information).
- Provide proof of the PHB SDC Exemption approval, as applicable.

***SPECIAL NOTE:** The City secures a loan or deferral by recording a lien on the benefited property. The lien remains in effect until the SDCs are paid in full. The City charges a non-refundable processing fee to cover the expense of setting up a loan or deferral. The installment contract must be signed by the property owner of record before the City authorizes a loan for the SDCs.

Information is subject to change.



CITY OF PORTLAND
Stormwater
Management
Manual

SIMPLIFIED APPROACH FORM

PROJECT INFORMATION WORKSHEET

Project/Permit Number: _____

Land Use Case Number: _____

Contact Name: _____

Phone: _____

Email: _____

Site Address/R Number(s) for all parcels:

Project Description: _____

Existing impervious area: _____ f²

Total NEW impervious area: _____ f²

SITE CHARACTERISTICS

S.1 Do slopes exceed 20% anywhere within the project area? ☐ Yes ☐ No

S.2 Are there springs, seeps, or a high groundwater table within the project area? ☐ Yes ☐ No

S.3 Geotech Report? ☐ Yes ☐ No

S.4 Infiltration Test? ☐ Yes ☐ No

See back of form for required certifications.

SIMPLE PIT INFILTRATION TEST PROCEDURE

The person performing this test does not need a professional credential.

Test instructions:

1. Conduct the test in and/or near the location of the proposed infiltration facility.
2. Excavate a 2' by 2' pit to a depth of: 2' below grade for facilities less than 2' deep or 3' below grade for facilities greater than 2' deep. Check for standing water or hardpan soil preventing excavation. If either is present, document conditions on this form and **do not** proceed with the test.
3. Fill the pit with at least 12 inches of water and record the initial water depth and the time when the test starts. Check the water depth at regular intervals until all of the water has been absorbed or for 1 hour, whichever occurs first. Record the time and final water depth at the end of the test.
4. Repeat the process two more times for a total of three rounds. Conduct the tests in succession to accurately characterize the soil's infiltration rates at different levels of saturation. The third test provides the best measure of the infiltration rate when saturated.
5. Record infiltration test data in the table below and certify the results. Uncertified test results will not be accepted.

Required Infiltration Testing

Date of Test: _____

Depth of Excavation (ft): _____

Depth of Proposed Facility: _____

	TEST 1	TEST 2	TEST 3
A. Time (of day)			
B. Duration (minutes; 1 hour maximum)			
C. Initial Water Depth (inches)			
D. Final Water Depth (inches)			
E. Infiltration Rate* (inches/hour)			

Test Pit Location (site plan sketch)

Key information to include: 1) Site or parcel; 2) Adjacent road(s) or cross street(s); 3) Test pit location with dimensions



*Infiltration Rate = Initial Depth (in) - Final Depth (in) / Duration of Test (hours). hours = minutes/60

SIMPLIFIED APPROACH FORM

PROPOSED STORMWATER FACILITIES

Proposed Stormwater Facilities

Please note: Each individual tax lot is required to manage the stormwater runoff it generates on the same lot to the maximum extent feasible (for new construction or redevelopment). The following table includes accepted Simplified Approach facilities **as described in Chapters 2 & 3 of the 2020 Stormwater Management Manual**. Copies of the manual are available online at www.portlandoregon.gov/bes/SWMM.

STORMWATER FACILITY TYPE	AREA DRAINING TO FACILITY (SF)	FACILITY SIZING FORMULA	FACILITY SIZE (surface area of facility)
Ecoroof		Area x 1 (1:1 ratio)	
Pervious Pavement		Area x 1 (1:1 ratio)	
Rain garden		Area x 0.10	
Basin		Area x 0.09	
Planter		Area x 0.06	
Filter Strip		See sizing table in SWMM Section 3.3.2.1	
Driveway Center Strip		Min. width is 3 ft; max. length is 50 ft if slope is 10-15% (max. slope is 15%).	
Drywell		See Maximum Catchment Area Managed by a Single Drywell Table below	(Drywell diameter, depth number)
Soakage Trench		25 ft ² of soakage trench for every 500 ft ² of impervious area. (Depth = 1.5 ft; width & length vary)	
Surface Sand Filter		Area x 0.06	
TOTAL IMPERVIOUS AREA (Managed, new, and redeveloped)		Total impervious area must equal the total NEW AND REDEVELOPED impervious area being proposed.	

Maximum Catchment Area Managed by a Single Drywell (ft²)

MATERIAL Ring Diameter	PLASTIC 24 inches	CONCRETE 28 inches	CONCRETE 48 inches
2 ft deep	500 ft ²	NA	NA
5 ft deep	NA	1,000 ft ²	2,500 ft ²
10 ft deep	NA	2,500 ft ²	4,500 ft ²
15 ft deep	NA	3,500 ft ²	5,000 ft ²

No more than 2 plastic drywells allowed per catchment area.

Required Certifications

SIMPLE PIT TEST

Name of Tester

Signature of Tester

Date

PERSON RESPONSIBLE FOR APPLICATION ACCURACY

Contact Name—Printed

Signature

Date



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Simple Site Erosion Control Requirements Form

Project or Permit Number _____

Project Address _____

Name of Responsible Party (print) _____

Day Phone _____ FAX _____ email _____

Erosion control inspections are required and it is your responsibility to request these inspections.

Erosion control measures are required on this site. Because of the size and slope, a drawn plan is not required. Erosion Control Measures and inspections are required prior to beginning foundation excavation. This form may only be used for simple sites:

1. Flat (less than 10% slope before development)
2. More than 50 feet from a wetland or waterbody
3. Outside an environmental or greenway zone
4. Less than 10,000 sq. ft. of ground disturbance
5. Not a land division of 10,000 sq. ft. or more

This is an agreement that the applicant and/or responsible parties will use erosion control during this project as required. The applicant and/or responsible party must sign this form to comply with Section 10.40.020 of the Code. Details for the measures outlined below are located in the City of Portland Erosion Control Manual, available at either the Development Services Center or on our Web site at www.portlandonline.com/bds

	Minimum Erosion Control Requirements	Additional Requirements
1.	Temporary sediment control (silt fences, bio-filter bags or fiber rolls, storm drain inlet protection).	Prevent the transport of sediment from the site (Manual Sections 2-2 and 4-2) Call for #200 inspection. These items must be provided even with undisturbed vegetative buffers as allowed by manual.
2.	Stabilize access points by installing a gravel construction entrance. Do not use rock or dirt ramps in the gutter, use a wood ramp if needed to get over curb.	Limit construction vehicle access, whenever possible, to one route. Stabilize access points. Provide street cleaning by sweeping or shoveling any sediment that may have been tracked out. Place sediment in a suitable disposal area where it will not erode again. (Manual Sections 2-2 and 4-1)
3.	Stabilize all soils, including stockpiles that are temporarily exposed. Use one or more of the temporary soil stabilization Best Management Practices (BMP's): temporary grasses, mulch applications, erosion blankets, plastic sheeting, plus dust control measures.	Soil Stabilization (Manual Sections 2-2 and 4-4)
4.	Maintain erosion controls identified in requirements 1 through 3 above according to specifications prescribed in manual.	Inspect and maintain required erosion and sediment controls to ensure continued performance of their intended function. (Manual Chapters 4 and 5)
5.	Comply with the necessary development activity controls, including controls for fuel spill control, waste removal, concrete waste management or painting preparation.	During construction, prevent the introduction of pollutants in addition to sediment into stormwater. (Manual Section 5)
6.	Use one or more of the following to permanently stabilize soils before final building inspection: Permanent vegetative cover, mulch applications or application of sod.	After construction but before project completion, permanently stabilize all exposed soils that have been disturbed during construction. (Manual Sections 4-4)
7.	Prevent sediment from entering all storm drains, including ditches, which receive runoff from the disturbed area	Remove temporary drain inlet protection measures after final site clean-up. Call for #210 inspection.
8.	Post signage on-site that identifies the City's Erosion Control complaint number	The sign will be provided upon approval of the pre-construction inspection. It must be maintained on-site until the final inspection.

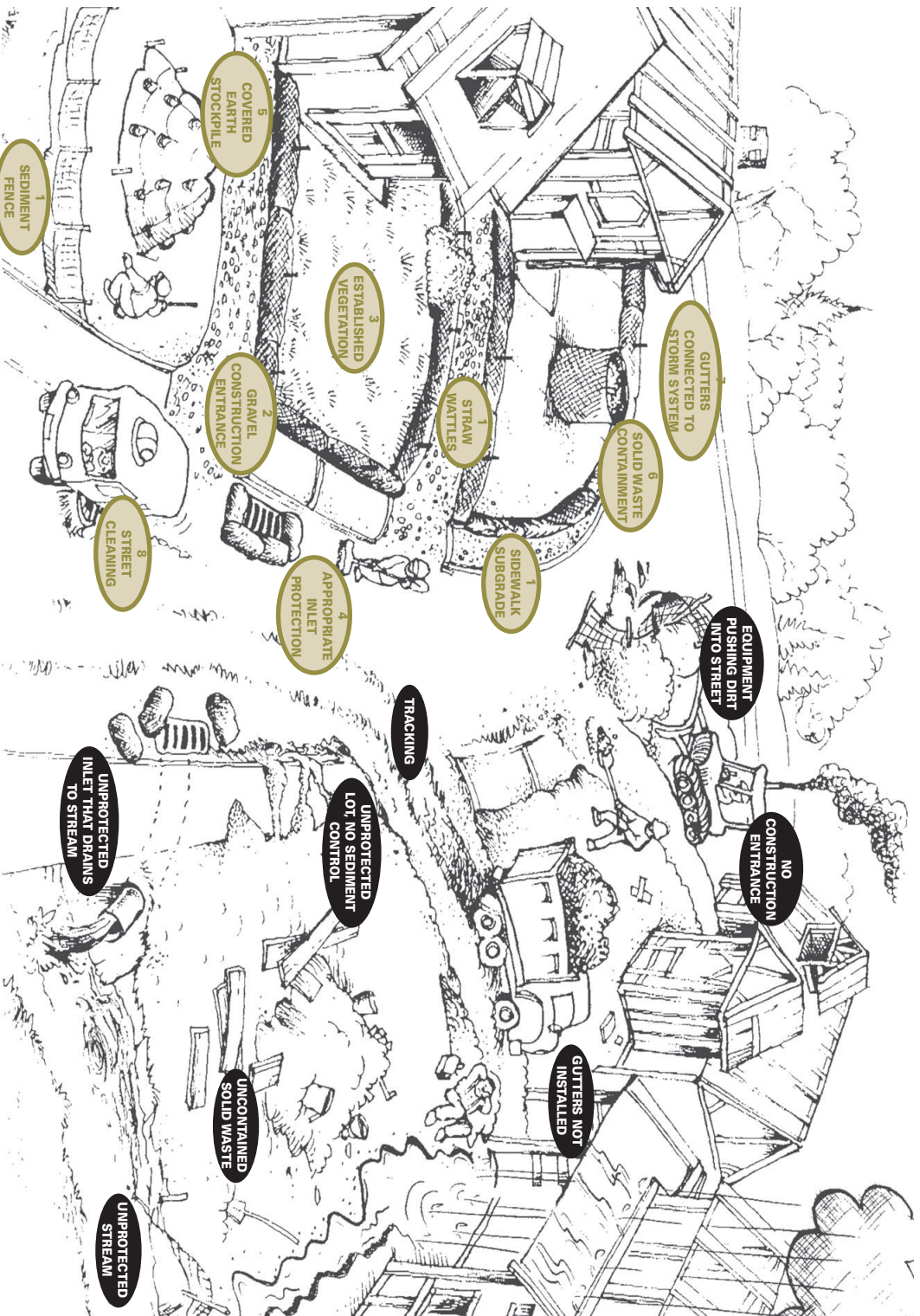
**You must request a preconstruction erosion control inspection prior to construction.
Call 503-823-7000 and request a #200 inspection using your IVR number.**

I agree to meet each requirement and use appropriate erosion control measures as outlined above to prevent erosion and sedimentation from leaving the site of project/permit number referenced. **I understand that all inspections are still required**, and that failure to install or maintain adequate measures may result in a re-inspection fees or additional fines. A permanent erosion control inspection #210 will be required prior to a final building inspection.

Signature of Responsible Party

Property Owner or Owner's Agent _____ Date _____

What to DO and What NOT to do Best Management Practices (BMP's)



- 1 Work site perimeter protection**
 - ☐ Install straw wattles or mulch berms where sediment fencing is not practical.
 - ☐ Utilize sidewalk sub-grade area to trap sediments in runoff where possible.
 - ☐ Mark construction limits with sediment or construction fencing.
 - ☐ Make sure that all workers are aware of the limits to construction activities.
- 2 Gravel construction entrance**
 - ☐ Install an entrance adequate to last through the job.
 - ☐ Use clean, large crushed rock with no fines (placed over geotextile fabric if necessary).
 - ☐ Consider rocking other areas necessary for subcontractor parking.
- 3 Ground cover and vegetation**
 - ☐ Stabilize soils as soon as grading is complete.
 - ☐ Use compost, straw mulch and seed, or other ground covers before the wet season.
 - ☐ Coordinate the application of groundcovers (straw, bark dust or wood chips) with landscaping plans.
- 4 Inlet protection**
 - ☐ Use catch basin inserts in high traffic areas.
 - ☐ Use bio-bags to protect irregular-shaped inlets.
 - ☐ Check daily, as traffic can knock barriers out of place, and accumulated sediments will need to be removed. Maintain after every major storm.
- 5 Covered earth stockpile**
 - ☐ Cover stockpiles during the wet weather season (October 1 through April 30).
 - ☐ Use weighted plastic or a 3-inch layer of mulch, straw or wood chips.
 - ☐ Make sure that concentrated flows from plastic covered stockpiles do not generate erosion.
 - ☐ Seed stockpiles for long-term protection.
- 6 Solid waste containment**
 - ☐ Keep trash and building wastes out of streets and storm drain systems.
 - ☐ Separate and cover construction wastes, or remove them from the site.
- 7 Rain drains**
 - ☐ Protect areas under the eaves with straw, compost, gravel or plywood.
 - ☐ Connect rain drains to the storm drain system as soon as gutters are installed.
- 8 Street cleaning**
 - ☐ Don't clean up mud on sidewalks or streets by hosing it down.
 - ☐ Mechanically remove sediments from streets and sidewalks by scraping with a flat blade shovel or sweeping. Remove the sediments to a stable site.
 - ☐ Call a vacuum sweeper if necessary, before tracking results in a project shutdown.



Residential Energy Additional Measure Selection

Department of Consumer & Business Services

Building Codes Division

1535 Edgewater St. NW, Salem, Oregon

Phone: 503-373-1268 • Fax: 503-378-2322

oregon.gov/bcd

RESIDENTIAL INFORMATION

Date:

Building permit number:

Owner's name:

Job address:

City:

State:

ZIP:

INSTRUCTIONS

Select the type of construction. If the project is an addition, select the applicable addition type and enter the selected measures accordingly; print and sign your name. Submit this form with your permit application or your project will be placed on hold until the required information is provided.

☐ **New construction.** All conditioned spaces within residential buildings shall comply with Table N1101.1(1) and one additional measure from Table N1101.1(2).

☐ **Additions.** Additions to existing buildings or structures may be made without making the entire building or structure comply if the new additions comply with the requirements of this chapter. [See ORSC Section N1101.3]

☐ **Large additions.** Additions that are equal to or more than 600 square feet in area are required to select one measure from Table N1101.1(2).

Enter the selected Table N1101.1(2) additional measure _____

☐ **Small additions.** Additions that are less than 600 square feet in area are required to select one measure from Table N1101.1(2) **or** select one measure from Table N1101.3.

☐ Selected Table N1101.1(2) additional measure _____

☐ Selected Table N1101.3 additional measure _____

☐ **Exception:** Additions that are less than 225 square feet in area are not required to comply with Table N1101.1(2) or Table N1101.3.

For reference Tables N1101.1(2) and N1101.3 are included in this form below.

Note: Depending on the additional measure you have selected, there may be sub-options that you will have to specify. Check the appropriate box, if provided.

Applicant's printed name: _____ Applicant's signature: _____

TABLE N1101.1(2) – ADDITIONAL MEASURES

<input type="checkbox"/>	1	HIGH-EFFICIENCY HVAC SYSTEM^a a. Gas-fired furnace or boiler AFUE 94 percent, or b. Air-source heat pump HSPF 10.0/14.0 SEER cooling, or c. Ground-source heat pump COP 3.5 or Energy Star rated
<input type="checkbox"/>	2	HIGH-EFFICIENCY WATER HEATING SYSTEM a. Natural gas/propane water heater with minimum UEF 0.90, or b. Electric heat pump water heater with minimum 2.0 COP, or c. Natural gas/propane tankless/instantaneous heater with minimum 0.80 UEF and Drain Water Heat Recovery Unit installed on minimum of one shower/tub-shower
<input type="checkbox"/>	3	WALL INSULATION UPGRADE Exterior walls—U-0.045/R-21 conventional framing with R-5.0 continuous insulation
<input type="checkbox"/>	4	ADVANCED ENVELOPE Windows—U-0.21 (Area weighted average), and Flat ceiling ^b —U-0.017/R-60, and Framed floors—U-0.026/R-38 or slab edge insulation to F-0.48 or less (R-10 for 48”; R-15 for 36” or R-5 fully insulated slab)
<input type="checkbox"/>	5	DUCTLESS HEAT PUMP For dwelling units with all-electric heat, provide: Ductless heat pump of minimum HSPF 10 in primary zone replaces zonal electric heat sources, and programmable thermostat for all heaters in bedrooms
<input type="checkbox"/>	6	HIGH EFFICIENCY THERMAL ENVELOPE UA^c Proposed UA is 8 percent lower than the code UA
<input type="checkbox"/>	7	GLAZING AREA Glazing area, measured as the total of framed openings is less than 12 percent of conditioned floor area
<input type="checkbox"/>	8	3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION Achieve a maximum of 3.0 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent.

For SI: 1 square foot = 0.093 m², 1 watt per square foot = 10.8 W/m².

- Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
- The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
- In accordance with Table N1104.1(1), the Proposed UA total of the Proposed Alternative Design shall be a minimum of 8 percent less than the Code UA total of the Standard Base Case.

TABLE N1101.3 – SMALL-ADDITION ADDITIONAL MEASURES (SELECT ONE)

<input type="checkbox"/>	1	Increase the ceiling insulation of the existing portion of the home as specified in Table N1101.2.
<input type="checkbox"/>	2	Replace all existing single-pane wood or aluminum windows to the U-factor as specified in Table N1101.2
<input type="checkbox"/>	3	Insulate the existing floor, crawl space, or basement wall systems as specified in Table N1101.2 and install 100 percent of permanently installed lighting fixtures as CFL, LED, or linear fluorescent, or a minimum efficacy of 40 lumens per watt as specified in Section N1107.2.
<input type="checkbox"/>	4	Test the entire dwelling with a blower door and exhibit no more than 4.5 air changes per hour @ 50 Pascals.
<input type="checkbox"/>	5	Seal and performance test the duct system.
<input type="checkbox"/>	6	Replace existing 80-percent AFUE or less gas furnace with a 92-percent AFUE or greater system.
<input type="checkbox"/>	7	Replace existing electric radiant space heaters with a ductless mini split system with a minimum HSPF of 10.0.
<input type="checkbox"/>	8	Replace existing electric forced air furnace with an air source heat pump with a minimum HSPF of 9.5.
<input type="checkbox"/>	9	Replace existing water heater with a water heater meeting: Natural gas/propane water heater with minimum UEF 0.90, or Electric heat pump water heater with minimum 2.0 COP.

Radon Control Methods

2021 Oregon Residential

Specialty Code, Appendix F



Bureau of
Development
Services
FROM CONCEPT
TO CONSTRUCTION



1900 SW 4th Avenue
Portland, Oregon 97201
503-823-7300
bds@portlandoregon.gov
www.Portland.gov/BDS

All new buildings shall have radon gas mitigation by one of the following methods:

Crawl Space (AF103.5):

Mechanically ventilated; or

Passive sub-membrane depressurization system

Slab-on-grade (AF103.6):

Passive depressurization system with AF103.2 compliant subfloor preparation under slab.



Small Meter Sizing Worksheet (1" and smaller)

W-3

Email: devrev@portlandoregon.gov Phone: 503-823-7368, ext 4

Applicant/Contact Name _____

Site Address, Portland Maps Property ID (R#) _____

Building Permit/LU# /PW# _____

Required information

- Check: Single-family Townhouse Duplex Accessory Dwelling Unit (ADU)
- If multiple dwellings or structures on one lot: Separate meters Shared meter
- If requesting a combination domestic and fire service, enter the fire line size needed: _____
- If lot was created or modified by a recent land use action enter the LU or PR #: _____.

Meter Sizing Worksheet (must include existing and fixtures proposed in new development):

Fixture Type	Dwelling Unit 1 Fixture qty	Dwelling Unit 2 Fixture qty	Dwelling Units 1 & 2	Fixture Unit Multiplier	Fixture Units
Bathroom or Bar Sink				X 1.0	
Bathtub or Tub/Shower				X 4.0	
Shower, Standalone				X 2.0	
Toilet				X 2.5	
Kitchen Sink				X 1.5	
Dishwasher				X 1.5	
Clothes Washer				X 4.0	
Laundry sink				X 1.5	
Hose Bib - 1st				X 2.5	
Hose Bibs - Additional				X 1.0	

Meter Size	Total Fixture Units
5/8" meter	0 - 22
3/4" meter	22.5 - 37
1" meter	37.5 - 89

Total Fixture Units: _____

The applicant is responsible for ensuring the proposed service installation location(s) conforms with requirements of Title 21: Water and Title 11: Trees, and all OAR separation requirements.

Once permit is issued and fees paid, please contact our Maintenance and Construction Scheduling Coordinators at wbistateshed@portlandoregon.gov or 503-823-1526 to learn about scheduling of service installations.

See page 2 for service installation and meter sizing reference charts

INSTALL GTF Value, Meter Sizes July 1, 2023 – June 30, 2024				
GTF Value	Meter Size	System Development Charge (SDC)	Installation with Paving	Total Install Fee
0 – 22	5/8"	\$4,563	\$8,070	\$12,633
22.5 – 37	3/4"	\$6,844		\$14,914
37.5 – 89	1"	\$11,407		\$19,477

METER UPSIZING		
Existing 3/4" Service Branch		Total Upsize Fee
5/8" to 3/4"	\$290 (Upsize) + \$2,281 = (Labor + 3/4" SDC – 5/8" SDC)	\$2,571
5/8" to 1"	\$8,070 (Install) + \$6,844 = (Labor + 1" SDC – 5/8" SDC)	\$14,914
3/4" to 1"	\$8,070 (Install) + \$4,563 = (Labor + 1" SDC – 3/4" SDC)	\$12,633
Existing 1" Service Branch		Total Upsize Fee
5/8" to 1"	\$290 (Upsize) + \$6,844 = (Labor + 1" SDC – 5/8" SDC)	\$7,134
3/4" to 1"	\$290 (Upsize) + \$4,563 = (Labor + 1" SDC – 3/4" SDC)	\$4,853

Water Meter Cost Comparison			
SHARED METER		SEPARATE METER	
Existing Fixture Count			
Existing Meter Size			
Existing Service Lateral			
Proposed Fixture Count		Proposed Fixture Count	
Fixture Total		Fixture Total	
Required Meter Size		Required Meter Size	
Fees		Fees	
SDC (set by meter size)		SDC (set by meter size)	
1" Service Branch Installation	\$8,070	1" Service Branch Installation	\$8,070
Meter Upsize Fee	\$290		
Fee Total		Fee Total	
Credits		Credits	
Approved ADU SDC Waiver (credit)		Approved ADU SDC Waiver (credit)	
Existing Meter (killed) SDC credit			
Credit Total	-	Credit Total	-
Shared Meter Total		Separate Meter Total	



City of Portland, Oregon - Bureau of Development Services

Type of work		
<input type="checkbox"/> New construction	<input type="checkbox"/> Addition/alteration/replacement	
<input type="checkbox"/> Demolition	<input type="checkbox"/> Other:	
Category of construction		
<input type="checkbox"/> 1 & 2 family dwelling	<input type="checkbox"/> Commercial/industrial	<input type="checkbox"/> Accessory building
<input type="checkbox"/> Multifamily	<input type="checkbox"/> Master builder	<input type="checkbox"/> Other:
Job site information and location		
Job no.:	Job address:	
City/State/ZIP:		
Suite/bldg./apt. no.:	Project name:	
Cross street/directions to job site:		
Subdivision:	Lot no.	Tax map/parcel no.
Description of work (example: upstairs bath fan/dryer exhaust)		
Provide RS permit no.		
<input type="checkbox"/> Property owner		<input type="checkbox"/> Tenant
Name:		E-mail:
Address:		
City/State/ZIP:		
Phone:		FAX:
Owner installation: This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.		
Owner signature:		Date:
<input type="checkbox"/> Contractor		<input type="checkbox"/> Subcontractor
Business name:		E-mail:
Address:		
City/State/ZIP:		
Phone:		FAX:
Lic. no.		CCB lic. no.
Authorized signature: _____		
Print name:		Date:
<input type="checkbox"/> Applicant		<input type="checkbox"/> Contact Person
Business name:		
Contact name:		
Address:		
City/State/ZIP:		
Phone:		FAX:
E-mail:		

Commercial Fee Schedule - Use Checklist			
Mechanical permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar of all mechanical materials, equipment, labor, overhead and profit.			
Value: \$			
Residential Equipment / Systems Fees			
For special information use checklist			
Description	Qty.	Fee	Total
Heating / cooling			
Air conditioner (site plan required)		\$31	
Furnace / burner including duct work / vent / liner		\$65	
Heat pump (site plan required)		\$60	
Air handling unit		\$31	
Hydronic hot water system		\$36	
Residential boiler (radiator or hydronic) includes piping		\$38	
Unit heaters (fuel type, not electric) in-wall, in-duct, suspended, etc.		\$31	
Vent for appliance other than furnace		\$26	
Alteration of existing HVAC system		\$38	
Other fuel appliances			
Decorative gas fireplace		\$30	
Flue vent for water heater or gas fireplace		\$26	
Wood / pellet stove		\$67	
Gas or wood fireplace / insert		\$67	
Chimney / liner / flue / vent		\$24	
Other:		\$38	
Environmental exhaust and ventilation			
Range hood / other kitchen equipment		\$17	
Clothes dryer exhaust		\$17	
Single-duct exhaust (bathrooms, toilet compartments, utility rooms)		\$17	
Exhaust system apart from Heating or AC		\$26	
Other:		\$36	
Gas fuel piping			
\$18 for the first four, \$3.13 for each additional. Please indicate number of fuel gas piping outlets below:			
Furnace, etc.			
Gas heat pump			
Wall / suspended / unit heater			
Water heater / boiler			
Fireplace			
Range			
Barbecue			
Clothes dryer			
Other:			
Other appliances			
Including oil tanks, gas and diesel generators, gas and electric kilns, gas appliances / equipment not included above		\$36	
Mechanical permit fees			
Subtotal			
Minimum permit fee (\$115)			
Commercial plan review (60% of permit fee)			
State surcharge (12% of permit fee)			
TOTAL PERMIT FEE			



ELECTRICAL PERMIT APPLICATION

City of Portland, Oregon - Bureau of Development Services

1900 SW 4th Avenue, Portland, Oregon 97201 • 503-823-7300 • TTY 503-823-6868 • www.portland.gov/bds

Type of work

- ☐ New construction ☐ Addition/alteration/replacement
☐ Demolition ☐ Other:

Category of construction

- ☐ 1 & 2 family dwelling ☐ Commercial/industrial ☐ Accessory building
☐ Multifamily ☐ Master builder ☐ Other:

Job site information and location

Job no.:	Job address:
City/State/ZIP:	
Suite/bldg./apt. no.:	Project name:
Cross street/directions to job site:	
Subdivision:	Lot no.
Tax map/parcel no.	

Description of work (example: 3 circuits for basement receptacles)

Provide RS Permit no.	
-----------------------	--

Property owner

Tenant

Name:	E-mail:
Address:	
City/State/ZIP:	
Phone:	FAX:

Owner installation: This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.

Owner signature: _____ Date: _____

Contractor

Subcontractor

Business name:	E-mail:
Address:	
City/State/ZIP:	
Phone:	FAX:
Elec. lic. no.	CCB lic. no.
Metro or City lic no.	Date:

Supervising electrician Signature, required: _____

Print name: _____ License no. _____

Authorized signature: _____

Print name: _____ Date: _____

Applicant

Contact Person

Business name:
Contact name:
Address:
City/State/ZIP:
Phone:
FAX:
E-mail:

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

Plan Review

Please check all that apply

- ☐ Fire pump ☐ Building over three stories
☐ Emergency system ☐ Service or feeder 600 amps or over
☐ Addition of new motor load of 100 HP or more ☐ Commercial use agricultural buildings
☐ Patient area health care facility ☐ Installation of 150 KVA or larger separately derived system
☐ Hazardous locations ☐ 'A', 'E', 'I-2', 'I-3' occupancies
☐ Recreational vehicle parks ☐ Service or feeder 400 amps or more where the available fault current exceeds 10,000 amps at 150 volts or less to ground, or exceeds 14,000 amps for all other installations
☐ Marinas and boatyards
☐ Floating buildings
☐ Six or more residential units
☐ Supply over 600 volts nominal
☐ Voluntary plan review

Fee Schedule

Description	Qty.	Fee	Total	**
Residential single or multifamily dwelling unit. Includes attached garage.				
1,000 sq. ft. or less		\$308		4
Each added 500 sq. ft. or portion		\$68		
Limited energy, residential		\$68		2
Limited energy, multi-family		\$68		2
Services or feeders installation, alteration, and/or relocation				
200 amps		\$159		2
201 to 400 amps		\$226		2
* 401 to 600 amps		\$296		2
* 601 amps to 1,000 amps		\$446		2
* Over 1,000 amps or volts		\$819		2
Service Reconnect Only		\$144		1
Temporary services or feeders installation, alteration, and/or relocation				
200 amps or less		\$141		2
201 amps to 400 amps		\$214		2
401 amps to 600 amps		\$269		2
Branch circuits – new, alteration, or extension, per panel				
A.Fee for branch circuits <i>with</i> service or feeder fee, each branch circuit		\$16		2
B.Fee for branch circuits <i>without</i> service or feeder fee, first branch circuit		\$131		2
Each additional branch circuit		\$16		
Miscellaneous (service or feeder not included)				
Each manufactured or modular dwelling, service and/or feeder		\$181		2
Pump or irrigation circle		\$121		2
Sign or outline lighting		\$121		2
Signal circuit(s) or limited-energy panel, alteration, or extension.		\$121		2
Describe:				
Hourly rate:		\$172		
Each additional inspection over allowable in any of the above				
Per inspection		\$121		
Investigation fee				
Other				
Electrical permit fees*				
Subtotal				
Plan review (25% of permit fee)				
State surcharge (12% of permit fee)				
TOTAL PERMIT FEE				

* Requires Plan Review

** Number of inspections allowed per permit.



PLUMBING PERMIT APPLICATION

City of Portland, Oregon - Bureau of Development Services

1900 SW 4th Avenue, Portland, Oregon 97201 • 503-823-7300 • TTY 503-823-6868 • www.portland.gov/bds

Type of work

- ☐ New construction ☐ Addition/alteration/replacement
☐ Demolition ☐ Other:

Category of construction

- ☐ 1 & 2 family dwelling ☐ Commercial/industrial ☐ Accessory building
☐ Multifamily ☐ Master builder ☐ Other:

Job site information and location

Job no.: _____ Job address: _____
 City/State/ZIP: _____
 Suite/bldg./apt. no.: _____ Project name: _____
 Cross street/directions to job site: _____
 Subdivision: _____ Lot no. _____ Tax map/parcel no. _____

Description of work (example: 2 fixtures for kitchen remodel)

Provide RS Permit no. _____

Property owner

Tenant

Name: _____ E-mail: _____

Address: _____

City/State/ZIP: _____

Phone: _____ FAX: _____

Owner installation: This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.

Owner signature: _____ Date: _____

Contractor

Subcontractor

Business name: _____ E-mail: _____

Address: _____

City/State/ZIP: _____

Phone: _____ FAX: _____

Lic. no. _____ CCB lic. no. _____

Authorized signature: _____

Print name: _____ Date: _____

Applicant

Contact Person

Business name: _____

Contact name: _____

Address: _____

City/State/ZIP: _____

Phone: _____ FAX: _____

E-mail: _____

Plan Review, please check all that apply

- ☐ Med gas/vacuum system for health care facility ☐ Reclaimed wastewater/harvested rainwater system
☐ Vacuum drainage waste and vent system ☐ Wastewater pretreatment system
☐ Fire sprinkler system ☐ Chemical drainage waste and vent system
☐ Commercial booster pump
☐ Plumbing related site utilities outside building
☐ Water service line with inside diameter or nominal pipe size of 2" or more except 2" systems designed/stamped by licensed Oregon engineer
☐ Voluntary plan review

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

Fee Schedule

Description	Qty.	Fee	Total
New 1&2 family dwellings (includes 100 ft. for each utility connection)			
SFR (1) bath		\$602	
SFR (2) bath		\$903	
SFT (3) bath		\$1,055	
Each additional bath/kitchen		\$252	
Fire sprinkler (_____sq.ft.)	Per fee schedule		

Site utilities

Catch basin or area drain		\$46	
Manufactured home utilities		\$108	

The following fees for exterior lines are in addition to unit fixture fees. The prices listed below are for the first 100 feet. Each additional 100 feet or portion thereof is \$102.

Rain drain (_____linear ft.)		\$135	
Installing drywell? <input type="checkbox"/> yes <input type="checkbox"/> no		No fee	
Sanitary sewer (_____linear ft.)		\$135	
Storm sewer (_____linear ft.)		\$135	
Water service (_____linear ft.)		\$135	

Fixture or item

Backflow preventer		\$46	
Backwater valve		\$46	
Clothes washer		\$46	
Dishwasher		\$46	
Drinking fountain		\$46	
Ejectors/sump		\$46	
Fixture cap		\$46	
Floor drain/floor sink/primer		\$46	
Garbage disposal		\$46	
Hose bib		\$46	
Ice maker		\$46	
Interceptor/grease trap		\$46	

Interior mainline piping

Water piping - first 100 feet		\$135	
Drainage piping - first 100 feet		\$135	
Each additional 100 feet or portion of		\$102	

Replacing in-building water supply lines

Residential - first floor		\$96	
each additional floor		\$38	
Commercial - first five branches		\$96	
each fixture branch over five		\$23	

Medical gas (\$_____value.) Per fee schedule

Rainwater harvesting (\$_____value) Per fee schedule

Roof drain (commercial)		\$46	
Sewer cap		\$119	
Sink/basin/lavatory		\$46	
Tub/shower/shower pan		\$46	
Urinal		\$46	
Water closet		\$46	
Water heater/expansion tank		\$46	
Other		\$46	

Plumbing permit fees

Subtotal	
Minimum permit fee (\$121)	
Plan review (25% of permit fee)	
State surcharge (12% of permit fee)	
TOTAL PERMIT FEE	

IMPORTANT! Portland Water Bureau will require backflow protection to be installed at the service connection to the premises where rainwater harvesting and/or collection and reuse water facilities are installed. Other water uses and/or equipment may carry this requirement as well. See the document "Backflow Assembly Installation Requirements".

www.portlandoregon.gov/water/article/756072 insp_permitapp_plumbing 07/01/21